



*Providing the Absolute Best
Construction Experience*

Williamson County

Juvenile Justice Center Addition Bid Package 02



August 23, 2024



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TAB1

GMP COST SUMMARY

SpawGlass

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SpawGlass Contractors, Inc. hereby submits to Williamson County for the use and benefit of Juvenile Justice Center Addition – Bid Package 02 – GMP2 – Master Plan – Phases 1 & 2 price based on the Construction Documents developed for the Project, as follows:

1. The proposed amount for Cost of Work:	\$ 68,377,903
2. The Proposed CMAR's Fee (14,2%): (CMAR Fee includes OH&P, General Conditions, Insurance, and Warranty)	\$ 9,709,663
3. TOTAL: LINE ITEMS 1 THROUGH 2:	\$ 78,087,566

Note: Per the owner, NO owner's contingency has been included in this GMP. Any/all owners contingency is held separately by the owner and will be issued as an owner change order to the contract.

Blake Green

Digitally signed by Blake Green
DN: C=US, E=blake.green@spawglass.com,
O=SpawGlass Contractors, CN=Blake Green
Date: 2024.09.11 11:39:12-05'00'

Blake Green
Project Executive

GUARANTEED MAXIMUM PRICE PROPOSAL

PROJECT: Juvenile Justice Center Addition (“Project”)

BID PACKAGE 2: Master Plan – Phases 1 & 2

SpawGlass Contractors, Inc. (“CMAR”) hereby submits to **Williamson County, Texas** (“County”) for the use and benefit County pursuant to the provisions of the **Contract for Construction Manager at-Risk Project Delivery** dated **October 4th, 2022** (“Contract”), a Guaranteed Maximum Price (“GMP”) proposal for **Bid Package 2: Master Plan – Phases 1 & 2** for the **Juvenile Justice Addition** (“Project”), based on the Contract Documents (as defined by the Contract) developed for the Project, as follows:

1. Cost of the Work.

A not-to-exceed amount for the Cost of the Work for Bid Package 2: Master Plan – Phases 1 & 2 pursuant to the Contract:

Sixty-Eight Million, Three Hundred Seventy-Seven Thousand, Nine Hundred Three Dollars (\$68,377,903.)

2. CMAR’s Fee.

A fixed sum fee for CMAR’s Fee for Bid Package 2: Master Plan – Phases 1 & 2 pursuant to the Contract:

Nine Million, Seven Hundred Nine Thousand Six Hundred Sixty-Three Dollars (\$9,709,663.)

Total GMP.

The total sum of the above **Items 1 through 2**, as set forth below, is the GMP which the CMAR hereby guarantees to County for constructing Bid Package 2: Master Plan – Phases 1 & 2 complete, in place, and operational in accordance with the Contract Documents (All attached breakdowns shall total this GMP amount).

Seventy-Eight Million Eighty-Seven Thousand Five Hundred Sixty-Six Dollars (\$78,087,566.)

CMAR hereby guarantees to County not to exceed the GMP amount, subject to additions or deductions as provided in the Contract Documents. Except for additions or deductions as provided in the Contract Documents, costs which would cause the GMP to be exceeded shall be paid by CMAR without reimbursement by County.

Contract Time.

The date for achieving Substantial Completion of Bid Package 2: Master Plan – Phases 1 & 2 shall be **eight hundred forty-seven (847) calendar days** from the Notice to Proceed with construction.

Withdrawal of GMP Proposal.

This GMP Proposal may not be withdrawn for a period of **ninety (90) calendar days** from the date of receipt by County.

Liquidated Damages.

CMAR further agrees to pay, as Liquidated Damages, to County the sum of **Five Hundred Dollars (\$ 500) per calendar day** for failure to complete the work of Bid Package 2: Master Plan Phases 1 & 2 within the Contract Time in accordance with the Contract.

Owner’s Contingency.

A not-to-exceed amount for the Owner’s Contingency stated herein for reference:

Three Million Five Hundred Thousand Dollars (\$3,500,000.)

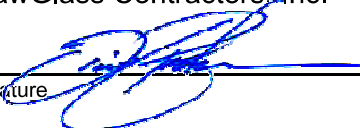
CMAR and County have agreed to separately phase various scopes of the Project construction services and execute this Guaranteed Maximum Price Proposal as to only the Bid Package: Master Plan – Phases 1 & 2 phase of construction services so that such phase of construction can be commenced and completed on or before the Substantial Completion date set out in this Guaranteed Maximum Price Proposal. CMAR and County hereby acknowledge they will negotiate additional Guaranteed Maximum Price Proposals in order to include the remaining scope of construction services for the entire Project following execution of this Guaranteed Maximum Price Proposal. CMAR acknowledges and agrees that the remaining scope of construction for the Project shall not constitute changes in the Work and there should be no adjustment under **Sections 5.1.2 or 5.1.3** of the Contract to increase CMAR's Fee percentage that is set forth under **Section 5.1.1** of the Contract. Furthermore, the preconstruction phase compensation set forth under **Section 4.1.1** of the Contract shall not be changed or modified due to any phasing of the construction services.

All terms and conditions of the Contract are hereby adopted and incorporated into this GMP Proposal. Any exceptions to, or modifications of, the terms and conditions of the Contract shall not be effective unless they are expressly stated and conspicuously identified in this GMP Proposal and are specifically accepted and approved by County. Otherwise, proposed revisions or modifications to the language, terms, or conditions of the Contract will not be accepted.

BY SIGNING BELOW, CMAR and County have executed and bound themselves to this Guaranteed Maximum Price (GMP) Proposal for Bid Package 2 – Master Plan Phases 1 & 2.

CMAR:
SpawGlass Contractors Inc.

COUNTY:
Williamson County, Texas

By: 
Signature

By: _____
Signature

David Paden
Printed Name

Printed Name

President
Title

Title

Date Signed: 9/12/2024

Date Signed: _____



Williamson County Juvenile Justice Center Expansion - GMP 2 Master Plan Phases 1 & 2

GMP 2 - Master Plan - Phases 1 & 2

Estimate Date:	08/23/2024	Documents Date:	07/26/2024
Project Size (SF):	152,697	Project #:	[REDACTED]
Project Location:	Georgetown, TX	Lead Estimator:	Tyler Tuscher

ITEM	COST	COST SF	% OF TOTAL
Phase 1 - New Building Addition Including the	62,510,254	580.11	80.05 %
Phase 2 - Medical and Admin Renovation (14,264	3,876,060	271.74	4.96 %
Indirect Costs	11,701,252	76.63	14.98 %
Total Cost	\$ 78,087,566	\$ 511.39	100.00 %



Williamson County Juvenile Justice Center Expansion - GMP 2 Master Plan Phases 1 & 2

GMP 2 - Master Plan - Phases 1 & 2

Estimate Date: 08/23/2024 Documents Date: 07/26/2024
Project Size (SF): 152,697 Project #: ██████████
Project Location: Georgetown, TX Lead Estimator: Tyler Tuscher

ITEM	COST	COST SF	% OF TOTAL
Phase 1 - New Building Addition Including the Courtroom, Entry, and Out Building (107,755 SF)	62,510,254	580.11	80.05 %
Div. 01 - General Requirements	863,000	8.01	1.38 %
Div. 02 - Existing Conditions	277,352	2.57	0.44 %
Div. 03 - Concrete	2,526,188	23.44	4.04 %
Div. 04 - Masonry	6,310,700	58.57	10.10 %
Div. 05 - Metals	5,394,683	50.06	8.63 %
Div. 06 - Wood, Plastics & Composites	869,595	8.07	1.39 %
Div. 07 - Thermal & Moisture Protection	8,559,930	79.44	13.69 %
Div. 08 - Openings	3,057,776	28.38	4.89 %
Div. 09 - Finishes	4,176,913	38.76	6.68 %
Div. 10 - Specialties	642,705	5.96	1.03 %
Div. 11 - Equipment	8,203,350	76.13	13.12 %
Div. 12 - Furnishings	231,618	2.15	0.37 %
Div. 21 - Fire Suppression	644,828	5.98	1.03 %
Div. 22 - Plumbing	3,001,000	27.85	4.80 %
Div. 23 - Heating, Ventilating & Air Conditioning	4,384,900	40.69	7.01 %
Div. 26 - Electrical	7,268,691	67.46	11.63 %
Div. 27 - Communications	479,859	4.45	0.77 %
Div. 28 - Electronic Safety & Security	1,533,886	14.23	2.45 %
Div. 31 - Earthwork	2,299,953	21.34	3.68 %
Div. 32 - Exterior Improvements	1,112,177	10.32	1.78 %
Div. 33 - Utilities	671,150	6.23	1.07 %
Phase 2 - Medical and Admin Renovation (14,264 SF)	3,876,060	271.74	4.96 %
Div. 01 - General Requirements	4,200	0.29	0.11 %

ITEM	COST	COST SF	% OF TOTAL
Div. 02 - Existing Conditions	176,081	12.34	4.54 %
Div. 03 - Concrete	16,067	1.13	0.41 %
Div. 04 - Masonry	364,200	25.53	9.40 %
Div. 06 - Wood, Plastics & Composites	154,985	10.87	4.00 %
Div. 07 - Thermal & Moisture Protection	2,500	0.18	0.06 %
Div. 08 - Openings	80,451	5.64	2.08 %
Div. 09 - Finishes	331,544	23.24	8.55 %
Div. 10 - Specialties	9,460	0.66	0.24 %
Div. 11 - Equipment	456,935	32.03	11.79 %
Div. 21 - Fire Suppression	152,230	10.67	3.93 %
Div. 22 - Plumbing	323,600	22.69	8.35 %
Div. 23 - Heating, Ventilating & Air Conditioning	483,000	33.86	12.46 %
Div. 26 - Electrical	1,272,800	89.23	32.84 %
Div. 27 - Communications	48,007	3.37	1.24 %

ITEM	COST	COST SF	% OF TOTAL
Indirect Costs	11,701,252	76.63	14.98 %
Work Remaining to Procure	1,991,589	13.04	2.55 %
General Conditions, Fee, Insurances at 14.2%	9,709,662	63.59	12.43 %
Total Cost	\$ 78,087,566	\$ 511.39	100.00 %



Williamson County Juvenile Justice Center Expansion - GMP 2 Master Plan Phases 1 & 2

GMP 2 - Master Plan - Phases 1 & 2

Estimate Date:	08/23/2024	Documents Date:	07/26/2024
Project Size (SF):	152,697	Project #:	[REDACTED]
Project Location:	Georgetown, TX	Lead Estimator:	Tyler Tuscher

ITEM	QUANTITY UM	UNIT COST	TOTAL COST
Phase 1 - New Building Addition Including the Courtroom, Entry, and Out Building			62,510,254
General Requirements			278,000
Equipment	34.0 LS	7,000.00	238,000
Final Cleaning - Buildings	1.0 LS	40,000.00	40,000
Allowances			585,000
Sculpture Allowance	1.0 Allow.	25,000.00	25,000
Tension Shade Structure Allowance	1.0 Allow.	200,000.00	200,000
Existing Structure Moisture Mitigation Contingency	1.0 Allow.	100,000.00	100,000
Site Way Finding Signage	1.0 Allow.	10,000.00	10,000
Dental Equipment	1.0 Allow.	20,000.00	20,000
Structural Allowance - Grout CMU Vertical Cells to Top of Wall, Bond Beam, Steel C8x11.5 Cont. Top of Wall with Expansion Bolts. Allowance Includes Engineered Shoring at Remodel Phases.	1.0 Allow.	200,000.00	200,000
Fireproofing Repair Allowance for Phase 2 Remodel	1.0 Allow.	30,000.00	30,000
Demolition			277,352
Demolition	1.0 LS	277,352.00	277,352
Cast-In-Place Concrete (Building)			2,526,188
Cast - In - Place Concrete	1.0 LS	2,526,188.00	2,526,188
Masonry / Stone			6,310,700
Masonry	1.0 LS	6,310,700.00	6,310,700
Structural/Miscellaneous Steel - Fabrication			5,394,683
Structural Steel Fab and Erect	1.0 LS	5,394,683.00	5,394,683
Wood Blocking			30,000
Rough Carpentry	1.0 LS	30,000.00	30,000

ITEM	QUANTITY UM	UNIT COST	TOTAL COST
Architectural Woodwork			839,595
Architectural Woodwork	1.0 LS	839,595.00	839,595
Waterproofing / Dampproofing / Joint Sealants			1,287,456
Waterproofing/Dampproofing/Joint Sealants	1.0 LS	1,287,456.00	1,287,456
Metal Wall Panels			904,626
HPL Rainscreen, Mechanical Screen Wall, Metal Soffits	1.0 LS	904,626.00	904,626
Roofing			6,292,848
Roofing - Expansion	1.0 LS	3,226,877.00	3,226,877
Roofing - Complete Demo and Reroof of the Existing Facility	1.0 LS	3,065,971.00	3,065,971
Fireproofing			75,000
Fireproofing of Structural Steel (2HR) and Decking (1HR) at New Courtroom Addition and Entry Only	1.0 LS	75,000.00	75,000
Doors / Frames / Hardware			549,235
Doors/Frames/Hardware	1.0 LS	549,235.00	549,235
OH/Coiling Doors / Grilles			324,539
OH/Coiling Doors	1.0 LS	324,539.00	324,539
Storefronts / Glass / Curtain Walls			2,184,002
Non-Detention Storefronts/Glass/Curtain Walls	1.0 LS	2,184,002.00	2,184,002
Drywall / Acoustical			2,391,608
Drywall & Acoustical	1.0 LS	2,391,608.00	2,391,608
Tile			168,355
Tile	1.0 LS	168,355.00	168,355
Carpet/Resilient Flooring			414,617
Carpet/Resilient/Athletic Flooring	1.0 LS	414,617.00	414,617
Terrazzo			185,800
Terrazzo	1.0 LS	185,800.00	185,800
Resinous/Epoxy Flooring			172,219
Resinous/Epoxy Flooring	1.0 SF	172,219.00	172,219
Painting / Wall Coverings			844,314
Painting/Wall Coverings	1.0 LS	844,314.00	844,314
Signage / Identification Devices			72,283
Signage/Identification Devices	1.0 LS	72,283.00	72,283
Toilet Compartments/Accessories			117,263

ITEM	QUANTITY UM	UNIT COST	TOTAL COST
Non-Detention Toilet Compartments/Accessories/Misc. Specialties	1.0 LS	117,263.00	117,263
Protective Covers / Sunscreens			428,858
Stainless Steel Netting	1.0 LS	296,597.00	296,597
Sunshade Exterior of Building	1.0 LS	132,261.00	132,261
Flagpoles			24,301
Flagpoles	1.0 LS	24,301.00	24,301
Detention Equipment			8,118,350
Detention Equipment and Detention Security Electronics	1.0 LS	8,118,350.00	8,118,350
Laundry Equipment			50,000
Laundry Equipment	1.0 Allow.	50,000.00	50,000
Appliances			35,000
Residential Appliances	1.0 Allow.	35,000.00	35,000
Window Treatments			100,000
Window Treatments	1.0 Allow.	100,000.00	100,000
Furniture			131,618
Courtroom Furniture	1.0 LS	131,618.00	131,618
Fire Suppression			644,828
Fire Suppression	1.0 LS	644,828.00	644,828
Plumbing			3,001,000
Plumbing	1.0 LS	3,001,000.00	3,001,000
HVAC			4,384,900
HVAC	1.0 LS	4,384,900.00	4,384,900
Electrical			7,268,691
Electrical	1.0 LS	7,136,400.00	7,136,400
Solar	1.0 LS	132,291.00	132,291
Communications Cabling and Equipment			479,859
Structured Cabling and Audio Visual	1.0 LS	479,859.00	479,859
Fire Alarm Systems			1,533,886
Fire Alarm - Complete Building Remodel	1.0 LS	952,598.00	952,598
Fire Alarm - Expansion	1.0 LS	581,288.00	581,288
Earthwork			2,267,940
Earthwork	1.0 LS	2,167,940.00	2,167,940
Dewatering - Allowance	1.0 LS	100,000.00	100,000

ITEM	QUANTITY UM	UNIT COST	TOTAL COST
Erosion Control			32,013
Erosion Control	1.0 LS	32,013.00	32,013
Traffic Markings/Signage			118,700
Traffic Markings/Signage	1.0 LS	118,700.00	118,700
Fences / Gates			243,603
Fences and Gates	1.0 LS	243,603.00	243,603
Landscaping / Irrigation			749,874
Landscape & Irrigation	1.0 LS	749,874.00	749,874
Site Utilities			671,150
Site Utilities	1.0 LS	671,150.00	671,150
Phase 2 - Medical and Admin Renovation			3,876,060
General Requirements			4,200
Final Cleaning - Buildings	1.0 LS	4,200.00	4,200
Demolition			176,081
Demolition	1.0 LS	176,081.00	176,081
Cast-In-Place Concrete (Building)			16,067
Cast - In - Place Concrete	1.0 LS	16,067.00	16,067
Masonry / Stone			364,200
Masonry	1.0 LS	364,200.00	364,200
Wood Blocking			35,000
Rough Carpentry	1.0 LS	35,000.00	35,000
Architectural Woodwork			119,985
Architectural Woodwork	1.0 LS	119,985.00	119,985
Waterproofing / Dampproofing / Joint Sealants			2,500
Waterproofing/Dampproofing/Joint Sealants	1.0 LS	2,500.00	2,500
Doors / Frames / Hardware			80,451
Doors/Frames/Hardware	1.0 LS	80,451.00	80,451
Drywall / Acoustical			175,283
Drywall & Acoustical	1.0 LS	175,283.00	175,283
Tile			23,570
Tile	1.0 LS	23,570.00	23,570
Carpet/Resilient Flooring			39,379
Carpet/Resilient/Athletic Flooring	1.0 LS	39,379.00	39,379

ITEM	QUANTITY UM	UNIT COST	TOTAL COST
Resinous/Epoxy Flooring			10,000
Resinous/Epoxy Flooring	1.0 LS	10,000.00	10,000
Painting / Wall Coverings			83,312
Painting/Wall Coverings	1.0 LS	83,312.00	83,312
Toilet Compartments/Accessories			9,460
Non-Detention Toilet Compartments/Accessories/Misc. Specialties	1.0 LS	9,460.00	9,460
Detention Equipment			456,935
Detention Equipment and Detention Security Electronics	1.0 LS	456,935.00	456,935
Fire Suppression			152,230
Fire Suppression	1.0 LS	152,230.00	152,230
Plumbing			323,600
Plumbing	1.0 LS	323,600.00	323,600
HVAC			483,000
HVAC	1.0 LS	483,000.00	483,000
Electrical			1,272,800
Electrical	1.0 LS	1,272,800.00	1,272,800
Communications Cabling and Equipment			48,007
Structured Cabling and Audio Visual	1.0 LS	48,007.00	48,007
Total - Direct Costs			\$ 66,386,314



TAB 2

EXECUTIVE SUMMARY

SpawGlass

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Williamson County

Juvenile Justice Center Addition – Bid Package 02 – GMP2 – Master Plan – Phases 1 & 2

200 Wilco Way

Georgetown, TX 78626

The Juvenile Justice Center Addition Project will consist of the scopes of construction services, which were set forth and solicited in Williamson County Request for Proposals (RFP) **#22RFP135** Construction Manager at Risk (CMAR) for Juvenile Justice Center Addition Project.

Due to constant changing manufacturer lead times and supply chain issues, Bid Package 01 – Emergency Power System, Docking Station, and Automatic Transfer Switch was submitted as a separate GMP so that it could be released to meet total project timelines. This Bid Package was approved and released. Items in Bid Package 01 are slated for arrival on or before November 22, 2025.

The current Bid Package (BP 02) will include the remaining items for the total project completion.

Scope of Work:

Bid Package 02 includes all scopes of work for PHASES 1 & 2 with the exceptions of items included in Bid Package 01 and items specifically excluded in the "Assumptions and Clarifications". The included scope of work includes 2 separate phases of construction in order to keep the facility fully operational during construction. The 2 phases are as follows:

- Phase 1 – Includes New Construction of 3 new housing pods, outdoor rec yards, staff lounge, intake, sally port, admin offices, central control, courtroom, judge and staff offices, and lobby. Phase 1 also includes removal and replacement of existing roof, replacement of existing exhaust fans, storage shed restroom addition, and all site work.
- Phase 2 – Remodel of existing control, intake, medical, corridors, and lobby areas.

Schedule:

The below dates set forth the anticipated completion date for the entire project. Any changes in scope can/will adjust the completion date per the contract terms. These dates are based on a Notice to Proceed of December 16th, 2024. The final schedule will be adjusted in the appropriate direction based on the actual NTP for construction.

Anticipated Schedule for completion:

Notice to Proceed:

Substantial Completion of Phases 1 & 2:

Final Completion of Phases 1 & 2:

December 16, 2024

April 12, 2027

May 12, 2027

TAB 3

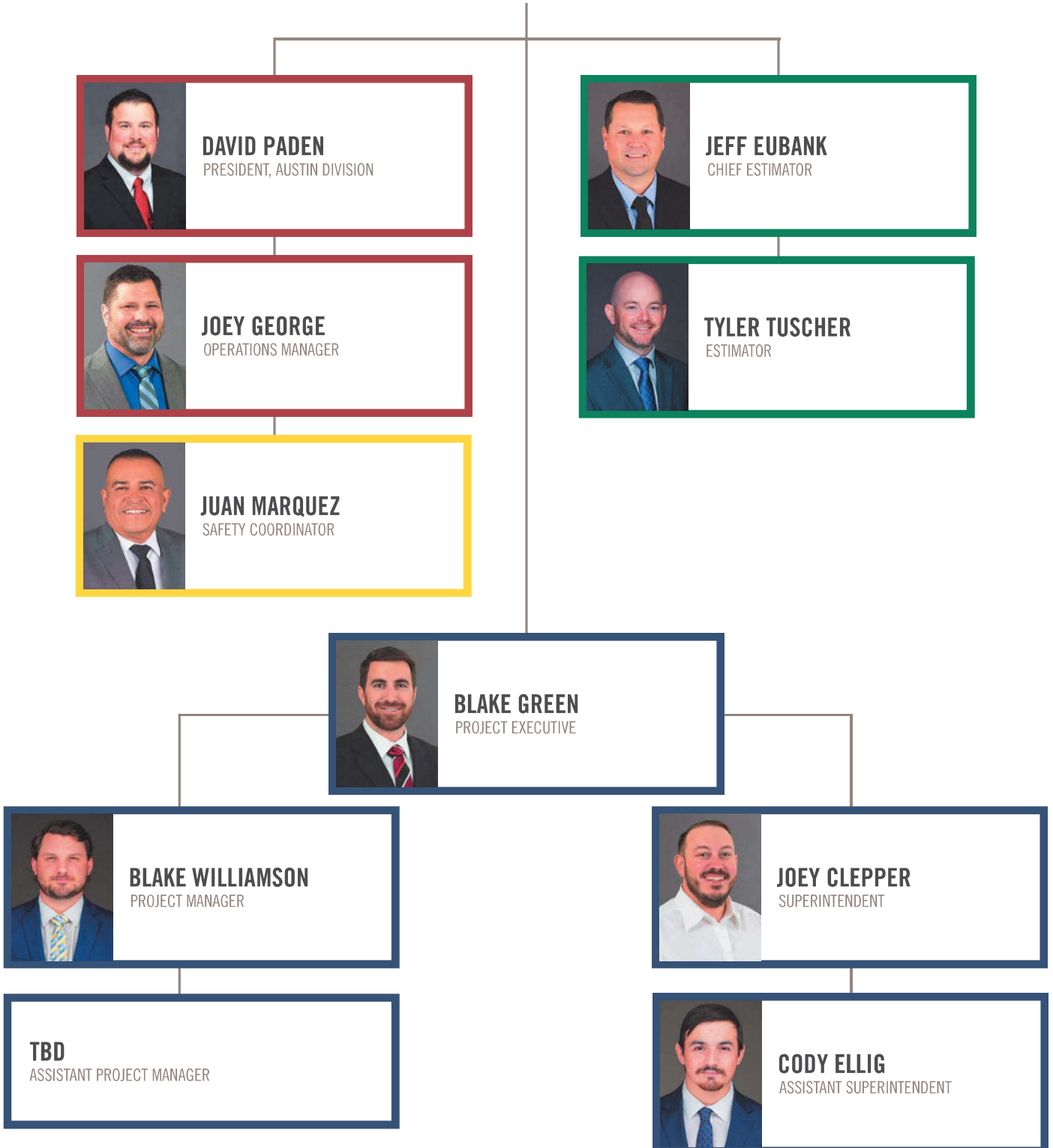
PROJECT TEAM



SpawGlass

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ORGANIZATIONAL CHART



BLAKE GREEN

PROJECT EXECUTIVE | EMPLOYEE OWNER

As project executive, Blake will provide leadership throughout the project including oversight of the budget, schedule, risk management measures and subcontractor relations. Blake will also serve as a resource to the project team and Tito's, ensuring satisfaction throughout the construction process.

CONFIDENTIAL BEVERAGE COMPANY PROJECT

Austin, TX | Confidential

New 40,000 SF Facility on a confidential beverage company campus

PALM PARK UTILITIES RELOCATION

Austin, TX | \$1,692,748

Project consisted of constructing an Austin Energy ductbank and telecom ductbank to serve surrounding area, specifically allowing the existing aboveground utilities in Palm Park to be run underground, and will also serve the neighboring development

HEB AUSTIN 08 RENOVATION

Austin, TX | \$Confidential

Renovation and expansion of a grocery store.

HEB AUSTIN 3 - HANCOCK EXPANSION

Austin, TX | \$Confidential

Expansion of an existing grocery store

TEXAS STATE UNIVERSITY DHRL BLANCO HALL RENOVATIONS

San Marcos, TX | \$20,193,152

Renovations and improvements to five-level, 200,000 SF, 300-bed dormitory building, including extensive upgrades to MEP systems and living spaces

MILITARY AND GOLIAD H-E-B ADDITION AND RENOVATION

San Antonio, TX | \$Confidential

SpawGlass provided a 13,940 SF addition to the left side of the 89,000 SF store, work also included construction of new towers at the front two entrances, the addition of a Texas Backyard area, and Curbside and parking lot improvements

FORT HOOD AT SCHLUETER LOOP H-E-B

Killeen, TX | \$Confidential

The new 83,000 SF store featured fresh produce; meat market; fish market; gourmet cheese shop; sushi bar; bakery and tortilleria; healthy living department with bulk foods; wine and beer department; pharmacy; floral department; True Texas BBQ restaurant; fuel station; car wash; and Curbside pick-up



YEARS OF EXPERIENCE

14 in the Industry

14 with SpawGlass

EDUCATION

B.S. Civil Engineering,
Texas A&M University-Kingsville

TRAINING

OSHA 30-Hour

First Aid/CPR

ASHE Healthcare Construction
Certificate (HCC)



Fort Hood at Schlueter Loop H-E-B



Military and Goliad H-E-B Addition and Renovation

JOEY CLEPPER

SUPERINTENDENT | EMPLOYEE OWNER

As superintendent, Joey will be responsible for the day-to-day activities in the field. This includes the safety and organization of field operations, documentation of daily activities, inspection of work for quality conformance, and ensuring all activities align with the project schedule.

TEXAS STATE UNIVERSITY ANGELINA AND SAN GABRIEL RESIDENCE HALLS

San Marcos, TX | \$48,609,667 | 187,492 SF | CMAR | Assistant Superintendent
New 187,492 SF complex, consisting of two buildings with staff apartments, 598 student beds, restrooms, study rooms, kitchenettes and lounge spaces; and a 20,000 SF community building with offices, study rooms, and large conference space.

TEXAS STATE UNIVERSITY BRUCE AND GLORIA INGRAM HALL

San Marcos, TX | \$90,403,710 | 166,851 SF | CMAR | Assistant Superintendent
New six-level, 166,851 SF science and engineering building, including spaces for administrative office, research and teaching labs, maker space, classrooms and common areas; and an extension of the campus utilities to serve the new facility.

THE UNIVERSITY OF TEXAS AT AUSTIN EAST CAMPUS PARKING GARAGE

Austin, TX | \$50,438,325 | 725,000 SF | Superintendent
Design-build of a cast-in-place parking garage with seven levels in the first phase and five in the second phase, accommodating a total of 2,000 vehicles and providing offices and retail shell space.

THE UNIVERSITY OF TEXAS AT AUSTIN SOUTH WING RENOVATION OF THE ANNA HISS GYMNASIUM

Austin, TX | \$10,400,000 | 38,456 SF | Superintendent
Demolition and abatement of the interior walls, including existing shower pans on the first level. Renovations included a new elevator, topping slab, air handling unit (AHU), medium voltage switchgear and architectural finishes.

THE UNIVERSITY OF TEXAS AT AUSTIN NORTH WING RENOVATION OF THE ANNA HISS GYMNASIUM

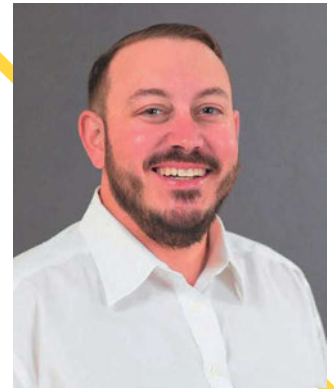
Austin, TX | \$10,058,177 | 33,993 SF | CMAR | Superintendent
Demolition, hazardous materials remediation, interior modifications, space repurposing and renovations to building envelope, minor exterior features and existing courtyard. Feature large open spaces, several conference rooms, laboratories and increased electrical capacity and air conditioning.

CHENIERE ENERGY ADMINISTRATION BUILDING - CORPUS CHRISTI LNG

Gregory, TX | \$15,597,418 | 27,360 SF | Superintendent
New two-level, steel structure office building containing meeting, training, and presentation rooms; cafeteria; offices; and file/storage rooms.

EMPLOYEES RETIREMENT SYSTEM OF TEXAS RENOVATIONS

Austin, TX | \$1,056,103 | 10,626 SF | CMAR | Superintendent
Renovation of the first and third floors in the existing Employees Retirement System office building.



YEARS OF EXPERIENCE

19 years in Industry
19 years with SpawGlass

TRAINING

Electrical Safety
Engineering Safety Consultants
Aerial Lift
Engineering Safety Consultants
Rough Terrain Fork Lift
Engineering Safety Consultants
Scissor Lift
First Aid/CPR
OSHA 10-Hour
OSHA 30-Hour
Rigging/Flagging Training

BLAKE WILLIAMSON

PROJECT MANAGER | EMPLOYEE OWNER

As project manager, Blake will be responsible for overall construction management of the project. His responsibilities will also include specialty contractor coordination, jobsite organization, contract administration and construction operations.

CITY OF AUSTIN EMERGENCY MEDICAL SERVICES FACILITY RENOVATIONS

Austin, TX | \$30,518,411 | Various

Renovations, interior and exterior, and additions to five EMS stations, including site improvements, utility infrastructure, new MEP systems, new overhead doors and interior finishes, and exterior improvements including weather-resistive barrier and thermal insulation, masonry and new roofing

EXPERIENCE PRIOR TO SPAWGLASS

THE REPUBLIC

Austin, TX | \$280,000,000

This project includes a 48-story high-rise, 816,560 SF mixed use building, level 1 retail, level 3-18.5 parking garage, level 19 amenities & terrace, level 20-48 office space

PARKSIDE AT MULLER CONDOMINIUMS

Austin, TX | \$47,000,000

This project included a 200-unit podium wrap structure, half level below grade parking garage that was 4 levels above grade

DRIPPING SPRINGS ELEMENTARY SCHOOL #3 CYPRESS SPRINGS ELEMENTARY

Austin, TX | \$34,000,000

This project included a three-story elementary school, tilt wall and steel structure on a 100+ acre site

ROUND ROCK ISD RENOVATIONS

Austin, TX | \$30,518,411 | 0

This project consisted of (3) separate school locations in Round Rock, Texas. Berkman Elementary School, Hernandez Middle School & Anderson Mill Elementary School. Project scope included re-roofing, new RTUs and Mechanical systems (all locations) and replacement of the majority of acoustical ceiling tiles



YEARS OF EXPERIENCE

7 years in the Industry

1 years with SpawGlass

EDUCATION

B.S. Construction Science, Texas A&M College Station

TRAINING

OSHA 30-Hour

CODY ELLIG

ASSISTANT SUPERINTENDENT | EMPLOYEE OWNER

As assistant superintendent, Cody will assist Joey in the day-to-day activities in the field. This includes the safety and organization of field operations, documentation of daily activities, inspection of work for quality conformance and assisting that all activities align with the project schedule.

H-E-B SOUTH CONGRESS

Austin, TX | Confidential | 146,151 SF | CMAR | Project Manager

Demolition of the existing facility, mass excavation, earth retention systems off-site wastewater retention and road work. The new 146,151 SF store will feature a cast-in-place parking garage and restaurant



YEARS OF EXPERIENCE

3 years in Industry

3 years with SpawGlasse

TRAINING

OSHA 30-Hour

TAB 4

ASSUMPTIONS AND
CLARIFICATIONS



SpawGlass

*Providing the Absolute Best
Construction Experience*

**Williamson County
Juvenile Justice Center Addition – Bid Package 02
200 Wilco Way
Georgetown, TX 78626**

GENERAL QUALIFICATIONS

1. This GMP is based off the Addendum 03 drawings by BLGY Incorporated dated July 25th, 2024.
2. Subcontractor pricing is guaranteed for 60 days which means this **Proposal Expires on 10/15/24**. After this date, subcontractor pricing will need to be rebid.
3. LEED Certifications or Green Building Programs are not incorporated into the project.
4. Performance & Payment Bonds are provided by SpawGlass and included in this proposal.
5. General Liability and Builders Risk is provided by SpawGlass and included in this proposal.
6. All permits/fees for city, county, AHJ, and/or utility providers to be paid for and coordinated by owner.
7. The phasing breakout of this GMP is for accounting purposes only. If some phases are elected to not proceed, we will need to revisit the GMP amount as some items are not able to be accepted on a per phase basis.
8. Email correspondence, owner design guidelines, or verbal correspondence not reflected on the drawings and specifications is not included in the GMP.
9. SpawGlass anticipates sufficient Field Office area and employee parking on-site.
10. SpawGlass anticipates material staging area on-site.
11. SpawGlass anticipates sufficient building access at all times during construction.
12. It is assumed that Construction Power and Water is provided and paid for by Owner through existing building infrastructure.
13. Any "ALLOWANCE" savings will go back to the owner once the cost amount has been determined. Any "ALLOWANCE" overages will be paid by the owner in the form of an Owner Change Order.
14. It's understood that there is existing movement in the building due to moisture/subgrade issues causing CMU/Concrete/Drywall cracking and/or movement. SpawGlass does not take responsibility for items caused by this movement, and no money has been added to this project other than allowances specifically called out.
15. At the request of Williamson County, SpawGlass is not carrying an "Owners Contingency" per 2.2.4 of the owner contract. Any changes in scope, systems, kinds and quality of materials, finishes or equipment shall be incorporated by Change Order per 2.2.2 of the owner contract.
16. Prevailing Wage Rates included per "General Decision Number: TX20240275 07/12/2024".

SPECIFIC QUALIFICATIONS

Division 00 & 01 – General Requirements and General Conditions

1. This GMP is based on a 5-day work week.

2. It is assumed that this project is tax exempt.
3. The testing Lab is assumed to be by the owner.
4. Security Personnel is excluded and assumed to be provided by owner.
5. This budget is based on Williamson County paying for electric, gas, sanitary, and water connection and usage fees.
6. Dewatering has been included as an allowance of \$100,000.
7. No work has been included in areas outside of the defined phasing plan areas.

Division 02 – Existing Conditions

1. Abatement has not been included and we assume there will be no remediation or abatement required.
2. Shoring for the façade and column demolition is not included.
3. No concrete demolition or chipping has been included unless specifically shown in the drawings. Phase 3 and Phase 4 concrete removal has been included.

Division 03 – Concrete

1. Void forms have been included at stoops only.

Division 04 – Masonry

1. We have included the glass block system as specified.

Division 05 – Metals

1. Metal deck inclusions:
 - o 1.5B, 20 Gauge, G60.
 - o 3NL-32, 20 Gauge, G60.
 - o Epic Deck.

Division 06 – Wood, Plastics, and Composites

1. At all locations where no millwork finish is noted, the laminate finish is priced as PL-1 Wilsonart “River Cherry” 7937-38 and the solid surface is priced as SS-1 Hanex “Oslo White” B-012 – ½”.
2. All hardwood trim where noted is priced as Flat Cut American Walnut.
3. All solid surface is quoted in standard ½” thickness.
4. Standard wall panel core material is ¾” industrial grade fire rated MDF.
5. Wall panel edge banding material is veneer matching the panel face.

6. Wall panel reveal material is veneer matching the panel face.

Division 08 – Openings

1. Door mark W1201C – 48'x16' overhead door has been included as a coiling door with an R-Value of 8.0. 22-gauge power coated with 34 window/slate and 62 slat high center.

Division 09 – Finishes

1. ACT 1 has been included as Certainteed HHF-157 Fine Fissured 2x2 tile in 15/16" grid.
2. ACT 2 has been included as epoxy panel 2x2 Vinyl Rock Tile in 15/16" grid.
3. 4x4 Acoustical Ceiling has been included as Armstrong Optima #3256 tegular in 9/16" white grid.
4. 2" Tectum wall and ceiling panels are included as "Natural" in color, other colors could result in a price increase.
5. Murals printed by Koroseal have been included with the artwork to be provided by the BLGY.
6. Gyp board to receive a primer roll texture, painted with Promar 200 e/s paints by Sherwin Williams.
7. Minor floor prep to existing areas to get new flooring is included. Major floor prep is excluded and can be included at a cost of \$65 per bag if required.
8. Attic stock of flooring materials is included.

Division 10 – Specialties

1. Vinyl lettering and stenciling is included as material only for each door as it was discussed this will be installed by owner.

Division 21 – Fire Suppression

1. FM Global design requirements and submittal are excluded.
2. No fire pump has been included.

Division 22 – Plumbing

1. Copper for domestic water piping is included.
2. PVC for buried DWV piping is included.
3. Cast iron for above ground DWV and storm drain piping is included.
4. Gas piping has been included as schedule 40 steel.

Division 23 – HVAC

1. Commissioning by owner. Commissioning assistance has been included.

2. Test and Balance has been included.
3. DDC controls have been included.

Division 26 – Electrical

1. Solar array has been included as a 45.43 kW-DC solar rooftop array.
2. Alternate #2 – Replace All Existing Wall Packs has been included in the base bid per E1.2. See existing exterior fixture replacement schedule below for inclusions.

EXISTING EXTERIOR FIXTURE REPLACEMENT

REPLACE THE FOLLOWING EXISTING FIXTURES IN THE EXISTING LOCATIONS:

- REPLACE (36) EXISTING WALLPACKS WITH FIXTURE TYPE 'T1'.
- REPLACE (4) 6" RECESSED CANS WITH THE FOLLOWING:
 - LITHONIA - LBR6-AL02-SWW1-AR-XX-L22-MWD-MVOLT-UGZ. COORDINATE FLANGE WITH FIELD CONDITIONS.
- REPLACE (7) 7" WALLWASH CANS WITH THE FOLLOWING:
 - LITHONIA - LBR6WW-AL03-SWW1-AR-XX-L22-WW-MVOLT-UGZ. COORDINATE FLANGE WITH FIELD CONDITIONS.
- REPLACE (13) 7" RECESSED CANS WITH THE FOLLOWING:
 - LITHONIA - LBR6-AL04-SWW1-AR-XX-L22-MWD-MVOLT-UGZ. COORDINATE FLANGE WITH FIELD CONDITIONS.

Division 27 – Communications

1. AV systems have been included.

Division 28 – Electronic Safety & Security

1. Fire watch during removal and installation of the fire alarm system in the existing building has not been included in this budget proposal.
2. Temporary Fire Alarm has not been included.
3. Offsite fire alarm monitoring has not been included.

Division 31 – Earthwork

1. Building Pad - Select fill has been included to 9' per S3.3 note regarding the removal of existing material down to weathered limestone.
2. Drilled shaft casing has been included as an allowance if necessary.

Division 32 – Exterior Improvements

1. Light-duty asphalt pavement has been included at 2" with 9" limestone base.
2. Heavy-duty asphalt pavement has been included at 2 ½" with 11" limestone base.

Division 33 – Utilities

1. Gas line provisions have not been included.
2. Inlets upsized to accommodate the pipe size.

EXCLUSIONS

1. Asbestos survey.
2. Asbestos and lead abatement of the remodel areas.
3. Certified payroll, documents, reporting, etc.
4. Permit and testing fees, assumed by Owner.
5. Supply and Delivery of Dual-Purpose Docking Station, Emergency Power System, and Automatic Transfer Switch. These items are part of Bid Package 01 and considered to be a separate owner contract. BP 02 contract to be billed in addition to BP 01 contract.

Potential Price Escalations

1. Masonry block: \$153,400 material escalation if LOI not sent before 10/15/2024.
2. Roofing: \$119,147 material escalation if LOI not sent before 10/15/2024.

TAB 5

LIST OF DRAWINGS



SpawGlass

*Providing the Absolute Best
Construction Experience*

Williamson County JJC Addition

Georgetown, TX

August 23, 2024

Note:

Addendum 01 Dated 03/29/2024 Acknowledged.

Addendum 02 Dated 05/03/2024 Acknowledged.

Addendum 03 Dated 07/25/2024 Acknowledged.

SHEET	TITLE	ISSUE DATE
	CONTRACT DRAWINGS	
CS	COVER SHEET	3/15/2024
G-0.1	GENERAL INFORMATION	3/15/2024
G-0.2	ADA SHEET	3/15/2024
G-0.3	ADA SHEET	3/15/2024
G-0.4	ADA SHEET	3/15/2024
G-0.5	WALL TYPES	3/15/2024
G-1.0	CODE PLAN ANALYSIS & DIAGRAMS	3/15/2024
G-1.1	CODE PLAN	3/15/2024
G-2.0	SECURITY PLAN	3/15/2024
G-3.0	PHASING PLAN	3/15/2024
A-1.0	EXISTING SITE PLAN	3/15/2024
A-1.1	SITE PLAN	3/15/2024
A-1.2	SITE DETAILS	3/15/2024
A-1.3	SITE DETAILS	3/15/2024
A-1.4	GENERAL SITE DETAILS	3/15/2024
A-2.0	EXISTING FLOOR PLAN	3/15/2024
A-2.1	PHASED DEMOLITION PLAN	3/15/2024
A-2.2	OVERALL FLOOR PLAN	3/15/2024
A-2.2A	FLOOR PLAN - AREA A	3/15/2024
A-2.2B	FLOOR PLAN - AREA B	3/15/2024
A-2.2C	FLOOR PLAN - AREA C	3/15/2024
A-2.2C1	FLOOR PLAN - AREA C1	3/15/2024
A-2.2D	FLOOR PLAN - AREA D	3/15/2024
A-2.2E	FLOOR PLAN - AREA E	3/15/2024
A-2.2F	FLOOR PLAN - AREA F	3/15/2024
A-2.2G	FLOOR PLAN - AREA G	3/15/2024
A-2.2H	FLOOR PLAN - AREA H	3/15/2024
A-2.2J	FLOOR PLAN - AREA J	3/15/2024
A-2.3	LOFT PLAN - DEMO	3/15/2024
A-2.3L	LOFT PLAN	3/15/2024
A-2.4	INTERIOR VIGNETTES	3/15/2024
A-2.10	ENLARGED PLANS	3/15/2024
A-2.11	ENLARGED PLANS	3/15/2024
A-2.12	ENLARGED PLAN - COURTROOM	3/15/2024

SHEET	TITLE	ISSUE DATE
A-2.13	ENLARGED PLAN - HEARING ROOM	3/15/2024
A-2.14	ENLARGED PLAN - GYM	3/15/2024
A-2.20	EXISTING ROOF DEMOLITION PLAN	3/15/2024
A-2.21	EXISTING BUILDING REROOF PLAN	3/15/2024
A-2.22	LOWER OVERALL ROOF PLAN	3/15/2024
A-2.22A	LOWER ROOF PLAN - AREA A	3/15/2024
A-2.22B	LOWER ROOF PLAN - AREA B	3/15/2024
A-2.22C	LOWER ROOF PLAN - AREA C	3/15/2024
A-2.22C1	LOWER ROOF PLAN - AREA C1	3/15/2024
A-2.22D	LOWER ROOF PLAN - AREA D	3/15/2024
A-2.22E	LOWER ROOF PLAN - AREA E	3/15/2024
A-2.23	UPPER OVERALL ROOF PLAN	3/15/2024
A-3.0	DEMOLITION REFLECTED CEILING PLAN	3/15/2024
A-3.1	OVERALL REFLECTED CEILING PLAN	3/15/2024
A-3.1A	REFLECTED CEILING PLAN AREA A	3/15/2024
A-3.1B	REFLECTED CEILING PLAN AREA B	3/15/2024
A-3.1C	REFLECTED CEILING PLAN AREA C	3/15/2024
A-3.1C1	REFLECTED CEILING PLAN AREA C1	3/15/2024
A-3.1D	REFLECTED CEILING PLAN AREA D	3/15/2024
A-3.1E	REFLECTED CEILING PLAN AREA E	3/15/2024
A-3.1F	REFLECTED CEILING PLAN AREA F	3/15/2024
A-3.1G	REFLECTED CEILING PLAN AREA G	3/15/2024
A-3.1H	REFLECTED CEILING PLAN AREA H	3/15/2024
A-3.1J	REFLECTED CEILING PLAN AREA J	3/15/2024
A-3.2	ENLARGED REFLECTED CEILING PLANS	3/15/2024
A-4.0.1	INTERIOR LEGEND	3/15/2024
A-4.1	MASONRY PLAN	3/15/2024
A-4.1A	FINISH PLAN - AREA A	3/15/2024
A-4.1B	FINISH PLAN - AREA B	3/15/2024
A-4.1C	FINISH PLAN - AREA C	3/15/2024
A-4.1C1	FINISH PLAN - AREA C.1	3/15/2024
A-4.1D	FINISH PLAN - AREA D	3/15/2024
A-4.1E	FINISH PLAN - AREA E	3/15/2024
A-4.1F	FINISH PLAN - AREA F	3/15/2024
A-4.1G	FINISH PLAN - AREA G	3/15/2024
A-4.1H	FINISH PLAN - AREA H	3/15/2024
A-4.1J	FINISH PLAN - AREA J	3/15/2024
A-4.4A	FURNITURE PLAN - AREA A	3/15/2024
A-4.4B	FURNITURE PLAN - AREA B	3/15/2024
A-4.4C	FURNITURE PLAN - AREA C	3/15/2024
A-4.4C1	FURNITURE PLAN - AREA C.1	3/15/2024
A-4.4D	FURNITURE PLAN - AREA D	3/15/2024
A-4.4E	FURNITURE PLAN - AREA E	3/15/2024
A-4.4F	FURNITURE PLAN - AREA F	3/15/2024
A-4.4G	FURNITURE PLAN - AREA G	3/15/2024

SHEET	TITLE	ISSUE DATE
A-4.4H	FURNITURE PLAN - AREA H	3/15/2024
A-4.4J	FURNITURE PLAN - AREA J	3/15/2024
A-5.0	EXTERIOR ELEVATIONS - FULL	3/15/2024
A-5.1	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.2	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.3	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.4	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.5	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.6	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.7	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.8	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.9	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.10	EXTERIOR ELEVATIONS - ENLARGED PARTIAL	3/15/2024
A-5.11	EXTERIOR VIGNETTES	3/15/2024
A-5.12	EXTERIOR VIGNETTES	3/15/2024
A-5.13	EXTERIOR VIGNETTES	3/15/2024
A-5.14	EXTERIOR VIGNETTES	3/15/2024
A-5.15	EXTERIOR VIGNETTES	3/15/2024
A-5.20	BUILDING SECTIONS	3/15/2024
A-5.21	BUILDING SECTIONS	3/15/2024
A-5.22	BUILDING SECTIONS	3/15/2024
A-5.23	BUILDING SECTIONS	3/15/2024
A-5.24	BUILDING SECTIONS	3/15/2024
A-5.25	BUILDING SECTIONS	3/15/2024
A-6.0	WALL SECTIONS	3/15/2024
A-6.1	WALL SECTIONS	3/15/2024
A-6.2	WALL SECTIONS	3/15/2024
A-6.3	WALL SECTIONS	3/15/2024
A-6.4	WALL SECTIONS	3/15/2024
A-6.5	WALL SECTIONS	3/15/2024
A-6.6	WALL SECTIONS	3/15/2024
A-6.7	WALL SECTIONS	3/15/2024
A-6.8	WALL SECTIONS	3/15/2024
A-6.9	WALL SECTIONS	3/15/2024
A-6.10	WALL SECTIONS	3/15/2024
A-6.11	WALL SECTIONS	3/15/2024
A-6.12	WALL SECTIONS	3/15/2024
A-6.13	WALL SECTIONS	3/15/2024
A-6.14	WALL SECTIONS	3/15/2024
A-6.15	WALL SECTIONS	3/15/2024
A-6.16	WALL SECTIONS	3/15/2024
A-6.17	WALL SECTIONS	3/15/2024
A-8.0	INTERIOR ELEVATIONS	3/15/2024
A-8.1	INTERIOR ELEVATIONS	3/15/2024
A-8.2	INTERIOR ELEVATIONS	3/15/2024

SHEET	TITLE	ISSUE DATE
A-8.3	INTERIOR ELEVATIONS	3/15/2024
A-8.4	INTERIOR ELEVATIONS	3/15/2024
A-8.5	CASEWORK ELEVATIONS	3/15/2024
A-8.6	CASEWORK ELEVATIONS	3/15/2024
A-8.7	CASEWORK DETAILS	3/15/2024
A-8.8	COURT BENCH - PLAN AND ELEVS	3/15/2024
A-8.9	HEARING ROOM BENCH - PLAN AND ELEVS	3/15/2024
A-8.10	JURY BOX ENLARGED PLAN, ELEVS, & DETAILS	3/15/2024
A-8.11	BENCH AND COURT AXONS	3/15/2024
A-8.12	SECURITY / RECEPTION DESK DETAILS	3/15/2024
A-8.13	INTAKE, MEDICAL, & STAFF DESKS	3/15/2024
A-9.0	DOOR SCHEDULE	3/15/2024
A-9.1	DOOR SCHEDULE, TYPES, AND FRAMES	3/15/2024
A-9.2	STOREFRONT SYSTEMS	3/15/2024
A-9.3	WINDOW TYPES	3/15/2024
A-9.4	CLERESTORY WINDOWS	3/15/2024
A-9.5	JAMB DETAILS	3/15/2024
A-10.0	EXTERIOR DETAILS	3/15/2024
A-10.1	EXTERIOR DETAILS	3/15/2024
A-10.2	EXTERIOR DETAILS	3/15/2024
A-10.3	EXTERIOR DETAILS	3/15/2024
A-10.4	ROOF DETAILS	3/15/2024
A-10.5	ROOF DETAILS	3/15/2024
A-10.6	EXTERIOR DETAILS	3/15/2024
A-10.7	EXTERIOR DETAILS	3/15/2024
A-10.8	PLAN DETAILS	3/15/2024
A-10.9	PLAN DETAILS	3/15/2024
A-10.10	PLAN DETAILS	3/15/2024
A-10.11	EXTERIOR DETAILS	3/15/2024
A-10.12	MOCK UP WALL	3/15/2024
A-10.13	EXTERIOR DETAILS	3/15/2024
A-11.0	INTERIOR DETAILS	3/15/2024
A-11.1	INTERIOR DETAILS	3/15/2024
A-11.2	INTERIOR DETAILS - DAYROOM CASEWORK	3/15/2024
A-11.3	INTERIOR DETAILS - MAIN LOBBY	3/15/2024
A-11.4	INTERIOR DETAILS	3/15/2024
A-11.5	INTERIOR DETAILS - COURTROOM	3/15/2024
A-11.6	INTERIOR DETAILS - COURTROOM	3/15/2024
A-11.7	INTERIOR DETAILS - HEARING ROOM	3/15/2024
A-11.8	INTERIOR DETAILS	3/15/2024
CO01	COVER SHEET	3/15/2024
GN01	CIVIL GENERAL NOTES	3/15/2024
ECO1	CIVIL EXISTING CONDITIONS AND DEMOLITION PLAN	3/15/2024
ESC01	CIVIL EROSION & SEDIMENTATION CONTROL PLAN	3/15/2024
DA01	CIVIL EXISTING DRAINAGE AREA MAP	3/15/2024

SHEET	TITLE	ISSUE DATE
DA02	CIVIL PROPOSED DRAINAGE AREA MAP	3/15/2024
SI01	CIVIL SITE PLAN	3/15/2024
GR01	CIVIL GRADING PLAN	3/15/2024
UT01	CIVIL UTILITY PLAN	3/15/2024
PP01	CIVIL PAVING PLAN	3/15/2024
TPP01	TREE PRESERVATION PLAN	3/15/2024
CD01	CIVIL CONSTRUCTION DETAILS	3/15/2024
CD02	CIVIL CONSTRUCTION DETAILS	3/15/2024
CD03	CIVIL CONSTRUCTION DETAILS	3/15/2024
CD04	CIVIL CONSTRUCTION DETAILS	3/15/2024
CD05	CIVIL CONSTRUCTION DETAILS	3/15/2024
S1.1	TYPICAL ABBREVIATIONS, SYMBOLS AND PLAN NOTES	3/15/2024
S1.2	GENERAL NOTES	3/15/2024
S2.1	FOUNDATION PLAN - OVERALL	3/15/2024
S2.1A	FOUNDATION PLAN - AREA A	3/15/2024
S2.1B	FOUNDATION PLAN - AREA B	3/15/2024
S2.1C	FOUNDATION PLAN - AREA C	3/15/2024
S2.1C1	FOUNDATION PLAN - AREA C1	3/15/2024
S2.1D	FOUNDATION PLAN - AREA D	3/15/2024
S2.1E	FOUNDATION PLAN - AREA E	3/15/2024
S2.1F	FOUNDATION PLAN - AREA F	3/15/2024
S2.1G	FOUNDATION PLAN - AREA G	3/15/2024
S2.1H	FOUNDATION PLAN - AREA H	3/15/2024
S2.1J	FOUNDATION PLAN - AREA J	3/15/2024
S2.2	ROOF FRAMING PLAN - OVERALL	3/15/2024
S2.2A	ROOF FRAMING PLAN - AREA A	3/15/2024
S2.2B	ROOF FRAMING PLAN - AREA B	3/15/2024
S2.2C	ROOF FRAMING PLAN - AREA C	3/15/2024
S2.2C1	ROOF FRAMING PLAN - AREA C1	3/15/2024
S2.2D	ROOF FRAMING PLAN - AREA D	3/15/2024
S2.2E	ROOF FRAMING PLAN - AREA E	3/15/2024
S2.2F	ROOF FRAMING PLAN - AREA F	3/15/2024
S2.2G	ROOF FRAMING PLAN - AREA G	3/15/2024
S2.2H	ROOF FRAMING PLAN - AREA H	3/15/2024
S2.3	HIGH ROOF FRAMING PLAN - OVERALL	3/15/2024
S2.3A	HIGH ROOF FRAMING PLAN - AREA A	3/15/2024
S2.3B	HIGH ROOF FRAMING PLAN - AREA B	3/15/2024
S2.3C	HIGH ROOF FRAMING PLAN - AREA C	3/15/2024
S2.3C1	HIGH ROOF FRAMING PLAN - AREA C1	3/15/2024
S2.3D	HIGH ROOF FRAMING PLAN - AREA D	3/15/2024
S2.3E	HIGH ROOF FRAMING PLAN - AREA E	3/15/2024
S2.3L	LOFT FRAMING PLAN	3/15/2024
S2.4	OUTBUILDING ADDITION FOUNDATION AND ROOF FRAMING PLAN	3/15/2024
S3.1	EXPANSIVE CLAY SOIL DETAILS	3/15/2024

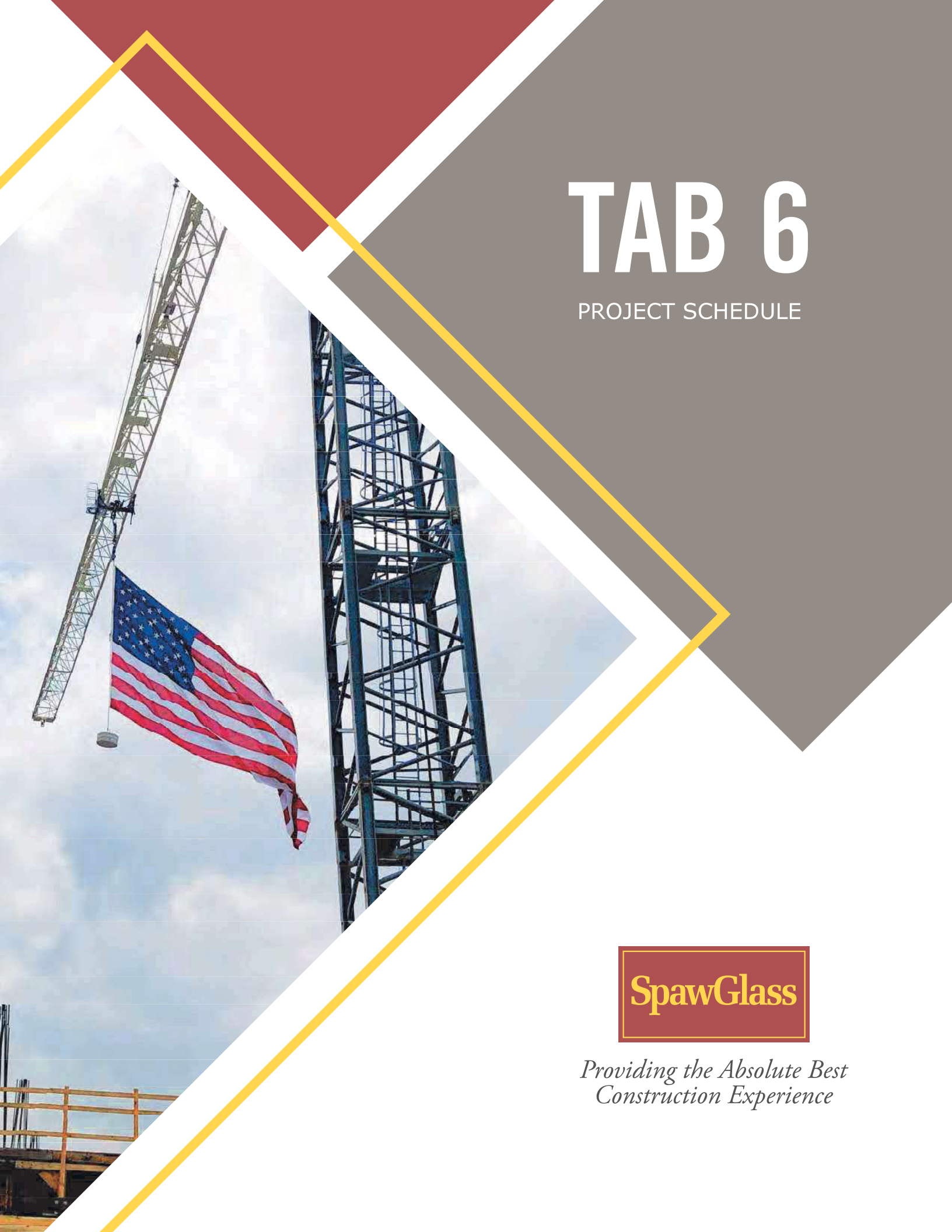
SHEET	TITLE	ISSUE DATE
S3.2	DRILLED PIERS	3/15/2024
S3.3	TYPICAL SLAB-ON-GRADE DETAILS	3/15/2024
S3.4	TYPICAL FOUNDATION DETAILS	3/15/2024
S3.11	FOUNDATION SECTIONS AND DETAILS	3/15/2024
S3.12	FOUNDATION SECTIONS AND DETAILS	3/15/2024
S4.1	CMU REINFORCING AND LINTEL PLAN - AREA A	3/15/2024
S4.2	CMU REINFORCING AND LINTEL PLAN - AREA B	3/15/2024
S4.3	CMU REINFORCING AND LINTEL PLAN - AREA C	3/15/2024
S4.4	CMU REINFORCING AND LINTEL PLAN - AREA D	3/15/2024
S4.5	CMU REINFORCING AND LINTEL PLAN - AREA E	3/15/2024
S4.6	CMU REINFORCING AND LINTEL PLAN - AREA F	3/15/2024
S4.7	TYPICAL CMU WALL DETAILS	3/15/2024
S4.8	TYPICAL CMU WALL DETAILS	3/15/2024
S4.9	TYPICAL CMU WALL DETAILS	3/15/2024
S5.1	SIMPLE BEAM CONNECTION DETAILS	3/15/2024
S5.2	TYPICAL STEEL COLUMN DETAILS	3/15/2024
S5.3	TYPICAL STEEL CONNECTION DETAILS	3/15/2024
S5.4	TYPICAL STEEL ROOF FRAMING DETAILS	3/15/2024
S5.5	TYPICAL STEEL ROOF FRAMING DETAILS	3/15/2024
S5.6	TYPICAL STEEL ROOF FRAMING DETAILS	3/15/2024
S5.11	STEEL SECTIONS AND DETAILS	3/15/2024
S5.12	STEEL SECTIONS AND DETAILS	3/15/2024
S5.13	STEEL SECTIONS AND DETAILS	3/15/2024
S5.21	HIGH ROOF STEEL SECTIONS AND DETAILS	3/15/2024
S5.22	HIGH ROOF STEEL SECTIONS AND DETAILS	3/15/2024
S5.31	MISCELLANEOUS STEEL SECTIONS AND DETAILS	3/15/2024
S6.1	TYPICAL STEEL TRUSS DETAILS	3/15/2024
S6.2	TYPICAL STEEL TRUSS DETAILS	3/15/2024
S7.1	WIND BRAC ELEVATIONS AND DETAILS	3/15/2024
S7.2	STEEL FRAME ELEVATIONS	3/15/2024
S7.11	STEEL FRAME ELEVATIONS	3/15/2024
S8.1	MISCELLANEOUS CONCRETE DETAILS	3/15/2024
M1.1	SCHEDULES, NOTES, AND LEGENDS - MECHANICAL	3/15/2024
M1.2	SCHEDULES - MECHANICAL	3/15/2024
M1.3	SCHEDULES - MECHANICAL	3/15/2024
M1.4	SCHEDULES - MECHANICAL	3/15/2024
M1.5	SCHEDULES - MECHANICAL	3/15/2024
M1.6	SCHEDULES - MECHANICAL	3/15/2024
M1.10	DETAILS - MECHANICAL	3/15/2024
M1.11	DETAILS - MECHANICAL	3/15/2024
M2.1A	FLOOR PLAN - AREA A - MECHANICAL	3/15/2024
M2.1B	FLOOR PLAN - AREA B - MECHANICAL	3/15/2024
M2.1C	FLOOR PLAN - AREA C - MECHANICAL	3/15/2024
M2.1D	FLOOR PLAN - AREA D - MECHANICAL	3/15/2024
M2.1E	FLOOR PLAN - AREA E - MECHANICAL	3/15/2024

SHEET	TITLE	ISSUE DATE
M2.1F	FLOOR PLAN - AREA F - MECHANICAL	3/15/2024
M2.1G	FLOOR PLAN - AREA G - MECHANICAL	3/15/2024
M2.1H	FLOOR PLAN - AREA H - MECHANICAL	3/15/2024
M2.1J	FLOOR PLAN - AREA J - MECHANICAL	3/15/2024
M4.1	ROOF PLAN - MECHANICAL	3/15/2024
M5.1A	SMOKE EVACUATION - ZONES AND CALCULATIONS - AREA A	3/15/2024
M5.1B	SMOKE EVACUATION - ZONES AND CALCULATIONS - AREA B	3/15/2024
M5.1C	SMOKE EVACUATION - ZONES AND CALCULATIONS - AREA C	3/15/2024
M5.1G	SMOKE EVACUATION - ZONES AND CALCULATIONS - AREA G	3/15/2024
M5.1H	SMOKE EVACUATION - ZONES AND CALCULATIONS - AREA H	3/15/2024
M6.1B	POK HVAC SYSTEMS - AREA B - MECHANICAL	3/15/2024
M7.1	SECTION 1 - AREA F - EXISTING MECH - FOR REFERENCE ONLY	3/15/2024
M7.2	SECTION 2 - AREA E - EXISTING MECH - FOR REFERENCE ONLY	3/15/2024
M7.3	SECTION 3 - AREA G - EXISTING MECH - FOR REFERENCE ONLY	3/15/2024
M7.4	SECTION 4 - AREA H - EXISTING MECH - FOR REFERENCE ONLY	3/15/2024
M7.5	SECTION 5 - AREA K - EXISTING MECH - FOR REFERENCE ONLY	3/15/2024
M7.6	SECTION 6 - AREA J - EXISTING MECH - FOR REFERENCE ONLY	3/15/2024
M7.7	OVERALL - EXISTING FIRE SPRINKLER - FOR REFERENCE ONLY	3/15/2024
E1.0	SITE PLAN - ELECTRICAL	3/15/2024
E1.1	SCHEDULES, NOTES, AND LEGENDS - ELECTRICAL	3/15/2024
E1.2	SCHEDULES - ELECTRICAL	3/15/2024
E1.3	RISER DIAGRAM - ELECTRICAL	3/15/2024
E1.4	DETAILS - ELECTRICAL	3/15/2024
E1.5	DETAILS - ELECTRICAL	3/15/2024
E1.6	PANEL SCHEDULES - ELECTRICAL	3/15/2024
E1.7	PANEL SCHEDULES - ELECTRICAL	3/15/2024
E1.8	PANEL SCHEDULES - ELECTRICAL	3/15/2024
E1.9	PANEL SCHEDULES - ELECTRICAL	3/15/2024
E2.1A	FLOOR PLAN - AREA A - LIGHTING	3/15/2024
E2.1B	FLOOR PLAN - AREA B - LIGHTING	3/15/2024
E2.1C	FLOOR PLAN - AREA C - LIGHTING	3/15/2024
E2.1D	FLOOR PLAN - AREA D - LIGHTING	3/15/2024
E2.1E	FLOOR PLAN - AREA E - LIGHTING	3/15/2024
E2.1F	FLOOR PLAN - AREA F - LIGHTING	3/15/2024
E2.1G	FLOOR PLAN - AREA G - LIGHTING	3/15/2024
E2.1H	FLOOR PLAN - AREA H - LIGHTING	3/15/2024
E2.1J	FLOOR PLAN - AREA J - LIGHTING	3/15/2024
E3.1A	FLOOR PLAN - AREA A - POWER	3/15/2024

SHEET	TITLE	ISSUE DATE
E3.1B	FLOOR PLAN - AREA B - POWER	3/15/2024
E3.1C	FLOOR PLAN - AREA C - POWER	3/15/2024
E3.1D	FLOOR PLAN - AREA D - POWER	3/15/2024
E3.1E	FLOOR PLAN - AREA E - POWER	3/15/2024
E3.1F	FLOOR PLAN - AREA F - POWER	3/15/2024
E3.1G	FLOOR PLAN - AREA G - POWER	3/15/2024
E3.1H	FLOOR PLAN - AREA H - POWER	3/15/2024
E3.1J	FLOOR PLAN - AREA J - POWER	3/15/2024
E4.1	ROOF PLAN - POWER	3/15/2024
P1.1	SCHEDULES, NOTES, AND DETAILS - PLUMBING	3/15/2024
P1.2	DETAILS - PLUMBING	3/15/2024
P1.3	DETAILS - PLUMBING	3/15/2024
P2.1A	FLOOR PLAN - AREA A - PLUMBING - WASTE	3/15/2024
P2.1B	FLOOR PLAN - AREA B - PLUMBING - WASTE	3/15/2024
P2.1C	FLOOR PLAN - AREA C - PLUMBING - WASTE	3/15/2024
P2.1D	FLOOR PLAN - AREA D - PLUMBING - WASTE	3/15/2024
P2.1E	FLOOR PLAN - AREA E - PLUMBING - WASTE	3/15/2024
P2.1F	FLOOR PLAN - AREA F - PLUMBING - WASTE	3/15/2024
P2.1G	FLOOR PLAN - AREA G - PLUMBING - WASTE	3/15/2024
P2.1H	FLOOR PLAN - AREA H - PLUMBING - WASTE	3/15/2024
P2.1J	FLOOR PLAN - AREA J - PLUMBING - WASTE	3/15/2024
P3.1A	FLOOR PLAN - AREA A - PLUMBING - SUPPLY	3/15/2024
P3.1B	FLOOR PLAN - AREA B - PLUMBING - SUPPLY	3/15/2024
P3.1C	FLOOR PLAN - AREA C - PLUMBING - SUPPLY	3/15/2024
P3.1D	FLOOR PLAN - AREA D - PLUMBING - SUPPLY	3/15/2024
P3.1E	FLOOR PLAN - AREA E - PLUMBING - SUPPLY	3/15/2024
P3.1F	FLOOR PLAN - AREA F - PLUMBING - SUPPLY	3/15/2024
P3.1G	FLOOR PLAN - AREA G - PLUMBING - SUPPLY	3/15/2024
P3.1H	FLOOR PLAN - AREA H - PLUMBING - SUPPLY	3/15/2024
P3.1J	FLOOR PLAN - AREA J - PLUMBING - SUPPLY	3/15/2024
P4.1	ROOF PLAN - PLUMBING	3/15/2024
P7.1	SECTION 1 - AREA F - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024
P7.2	SECTION 2 - AREA E - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024
P7.3	SECTION 3 - AREA G - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024
P7.4	SECTION 4 - AREA H - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024
P7.5	SECTION 5 - AREA K - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024
P7.6	SECTION 6 - AREA J - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024
P7.7	ENLARGED KITCHEN - EXISTING PLUMB - FOR REFERENCE ONLY	3/15/2024

SHEET	TITLE	ISSUE DATE
ES-0.1	ELECTRONIC SECURITY SYMBOLS LEGEND	3/15/2024
ES-1.0	EXISTING SITE PLAN	3/15/2024
ES-1.1	NEW SITE PLAN	3/15/2024
ES-2.1	OVERALL DEMOLITION PLAN	3/15/2024
ES-2.1E	DEMOLITION PLAN	3/15/2024
ES-2.1F	DEMOLITION PLAN	3/15/2024
ES-2.1G	DEMOLITION PLAN	3/15/2024
ES-2.1H	DEMOLITION PLAN	3/15/2024
ES-2.1J	DEMOLITION PLAN	3/15/2024
ES-2.2	OVERALL FLOOR PLAN	3/15/2024
ES-2.2A	FLOOR PLAN - AREA A	3/15/2024
ES-2.2B	FLOOR PLAN - AREA B	3/15/2024
ES-2.2C	FLOOR PLAN - AREA C	3/15/2024
ES-2.2D	FLOOR PLAN - AREA D	3/15/2024
ES-2.2E	FLOOR PLAN - AREA E	3/15/2024
ES-2.2F	FLOOR PLAN - AREA F	3/15/2024
ES-2.2G	FLOOR PLAN - AREA G	3/15/2024
ES-2.2H	FLOOR PLAN - AREA H	3/15/2024
ES-2.2J	FLOOR PLAN - AREA J	3/15/2024
ES-2.2K	FLOOR PLAN - AREA K	3/15/2024
ES-3.1	ENLARGED PLANS	3/15/2024
ES-3.2	ENLARGED PLANS	3/15/2024
ES-3.3	ENLARGED PLANS	3/15/2024
ES-3.4	ENLARGED PLANS	3/15/2024
ES-3.5	ENLARGED PLANS	3/15/2024
ES-4.1	DETAILS	3/15/2024
ES-4.2	DETAILS	3/15/2024
ES-5.1	SYSTEM NETWORK DIAGRAM	3/15/2024
ES-5.2	ACCESS CONTROL SYSTEM DIAGRAM	3/15/2024
ES-5.3	ECS/ICS DIAGRAM	3/15/2024
ES-5.4	VIDEO MANAGEMENT SYSTEM DIAGRAM	3/15/2024
ES-5.5	UPS DIAGRAM	3/15/2024
ES-5.6	CAMERA SCHEDULE	3/15/2024
T0.0	TECHNOLOGY - INDEX SHEET	3/15/2024
T1.0	TECHNOLOGY - NEW SITE PLAN	3/15/2024
T1.1	TECHNOLOGY - OVERALL FOUNDATION PLAN	3/15/2024
T1.1A	TECHNOLOGY - FOUNDATION PLAN - AREA A	3/15/2024
T1.1B	TECHNOLOGY - FOUNDATION PLAN - AREA B	3/15/2024
T1.1C	TECHNOLOGY - FOUNDATION PLAN - AREA C	3/15/2024
T1.1D	TECHNOLOGY - FOUNDATION PLAN - AREA D	3/15/2024
T1.1E	TECHNOLOGY - FOUNDATION PLAN - AREA E	3/15/2024
T1.1F	TECHNOLOGY - FOUNDATION PLAN - AREA F	3/15/2024
T1.1G	TECHNOLOGY - FOUNDATION PLAN - AREA G	3/15/2024
T1.1H	TECHNOLOGY - FOUNDATION PLAN - AREA H	3/15/2024
T4.0	TECHNOLOGY - ENLARGEMENTS	3/15/2024

SHEET	TITLE	ISSUE DATE
T4.1	TECHNOLOGY - ENLARGEMENTS	3/15/2024
T5.0	TECHNOLOGY - DETAILS	3/15/2024
T5.1	TECHNOLOGY - DETAILS	3/15/2024
T7.0	TECHNOLOGY - AV DETAILS	3/15/2024
T7.1	TECHNOLOGY - AV DETAILS	3/15/2024
T7.2	TECHNOLOGY - AV DETAILS	3/15/2024
T7.3	TECHNOLOGY - AV DETAILS	3/15/2024
T7.4	TECHNOLOGY - AV DETAILS	3/15/2024
L001	SHEET INDEX & GENERAL NOTES	3/15/2024
L002	SITework REFERENCE PLAN	3/15/2024
L003	PLANTING AND IRRIGATION REFERENCE PLAN	3/15/2024
L100	SITework PLAN	3/15/2024
L200	LANDSCAPE SITework DETAILS	3/15/2024
L300	PLANTING PLAN	3/15/2024
L301	PLANTING PLAN	3/15/2024
L302	PLANTING PLAN	3/15/2024
L303	PLANTING PLAN	3/15/2024
L304	PLANTING PLAN	3/15/2024
L305	PLANTING PLAN	3/15/2024
L400	PLANTING SCHEDULE AND DETAILS	3/15/2024
L500	IRRIGATION PLAN	3/15/2024
L501	IRRIGATION PLAN	3/15/2024
L502	IRRIGATION PLAN	3/15/2024
L503	IRRIGATION PLAN	3/15/2024
L504	IRRIGATION PLAN	3/15/2024
L505	IRRIGATION PLAN	3/15/2024
L600	IRRIGATION SCHEDULES & NOTES	3/15/2024
L601	IRRIGATION DETAILS	3/15/2024
SECTION C	FURNITURE PLAN	3/15/2024
SECTION D	FURNITURE PLAN	3/15/2024
SECTION E	FURNITURE PLAN	3/15/2024
SECTION F	FURNITURE PLAN	3/15/2024
	CONTRACT SPECIFICATIONS	
	90% PROJECT MANUAL	3/15/2024



TAB 6

PROJECT SCHEDULE

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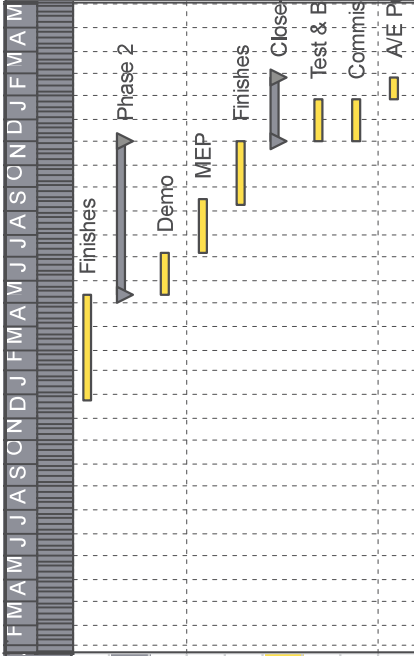
Activity ID	Activity Name	Orig Dur	Rem Dur	Start	Finish	Late Finish	Total Float
WILCO JJC GMP2 - Master Plan - Phases 1 & 2							
Milestones							
A1000	Construction NTP	573	0	16-Dec-24	24-Feb-27	12-May-27	55
A1010	Substantial Completion	0	0		25-Jan-27		55
A1020	Final Completion	0	0		24-Feb-27	12-May-27	55
Pre-Construction							
		190	190	16-Dec-24	05-Sep-25	10-Mar-26	132
Submittals							
A1180	Electrical Equipment	40	40	16-Dec-24	07-Feb-25	07-Oct-25	172
A1190	Roofing Materials	30	30	16-Dec-24	24-Jan-25	25-Apr-25	65
A1200	Windows	30	30	16-Dec-24	24-Jan-25	25-Apr-25	65
A1210	Structural Steel	40	40	16-Dec-24	07-Feb-25	25-Apr-25	55
A1550	Door Frames & Hardware	40	40	16-Dec-24	07-Feb-25	23-May-25	75
A1580	Security	40	40	16-Dec-24	07-Feb-25	07-Oct-25	172
Procurement							
		160	160	27-Jan-25	05-Sep-25	10-Mar-26	132
A1220	Electrical Equipment	160	160	27-Jan-25	05-Sep-25	05-Dec-25	65
A1230	Roofing Materials	120	120	27-Jan-25	11-Jul-25	10-Oct-25	65
A1240	Windows	120	120	10-Feb-25	25-Jul-25	10-Oct-25	55
A1250	Structural Steel	60	60	10-Feb-25	02-May-25	15-Aug-25	75
A1540	Door Frames & Hardware	110	110	10-Feb-25	11-Jul-25	10-Mar-26	172
A1590	Security	75	75	10-Feb-25	23-May-25	05-Dec-25	140
Construction							
		511	511	16-Dec-24	30-Nov-26	12-May-27	117
Sitework							
A1110	Clear & Grub/Pad Prep	355	25	16-Dec-24	24-Apr-26	12-May-27	273
A1570	Underground Utilities	25	25	16-Dec-24	17-Jan-25	23-May-25	90
A1170	Lay New Asphalt Parking Lot	30	30	20-Jan-25	28-Feb-25	04-Jul-25	90
A1160	Form & Pour Sidewalks	25	25	12-Jan-26	13-Feb-26	03-Mar-27	273
A1150	Install Landscape/Irrigation	20	20	16-Feb-26	13-Mar-26	31-Mar-27	273
Phase 1							
		312	312	03-Mar-25	12-May-26	28-Jul-26	55
A1260	Foundation	60	60	03-Mar-25	23-May-25	26-Sep-25	90
A1270	Structure	80	80	05-May-25	22-Aug-25	05-Dec-25	75
A1280	Building Envelope	120	120	28-Jul-25	09-Jan-26	27-Mar-26	55
A1290	MEP	120	120	22-Sep-25	06-Mar-26	22-May-26	55

Start Date: 16-Dec-24
 Finish Date: 24-Feb-27
 Data Date: 16-Dec-24
 Run Date: 11-Sep-24

WILCO JJC GMP2 - Master Plan - Phases 1 & 2

GMP2 - Master Plan - Phases 1 and 2

Activity ID	Activity Name	Orig Dur	Rem Dur	Start	Finish	Late Finish	Total Float
A1300	Finishes	100	100	24-Dec-25	12-May-26	28-Jul-26	55
Phase 2							
A1310	Demo	40	40	13-May-26	07-Jul-26	22-Sep-26	55
A1340	MEP	50	50	08-Jul-26	15-Sep-26	01-Dec-26	55
A1350	Finishes	60	60	08-Sep-26	30-Nov-26	15-Feb-27	55
Close-Out							
A1490	Test & Balance	40	40	01-Dec-26	25-Jan-27	12-Apr-27	55
A1510	Commissioning	40	40	01-Dec-26	25-Jan-27	12-Apr-27	55
A1500	A/E Punch List	22	22	26-Jan-27	24-Feb-27	12-May-27	55



Start Date: 16-Dec-24
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- Actual Work
- Remaining Work
- Critical Remaining Work
- Milestone
- Summary
- Level of Effort

WILCO JJC GMP2 - Master Plan - Phases 1 2
 GMP2 - Master Plan - Phases 1 and 2



TAB 7

REVIEW COMMENTS



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**Williamson County
Juvenile Justice Center Addition – Bid Package 02
200 Wilco Way
Georgetown, TX 78626**

TAB 01 – Cost Summary Comments:

TAB 02 – Executive Summary Comments:

TAB 03 – Project Team Comments:

TAB 04 – Assumptions and Clarifications Comments:

TAB 05 – List of Drawings Comments:

TAB 06 – Project Schedule Comments:

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