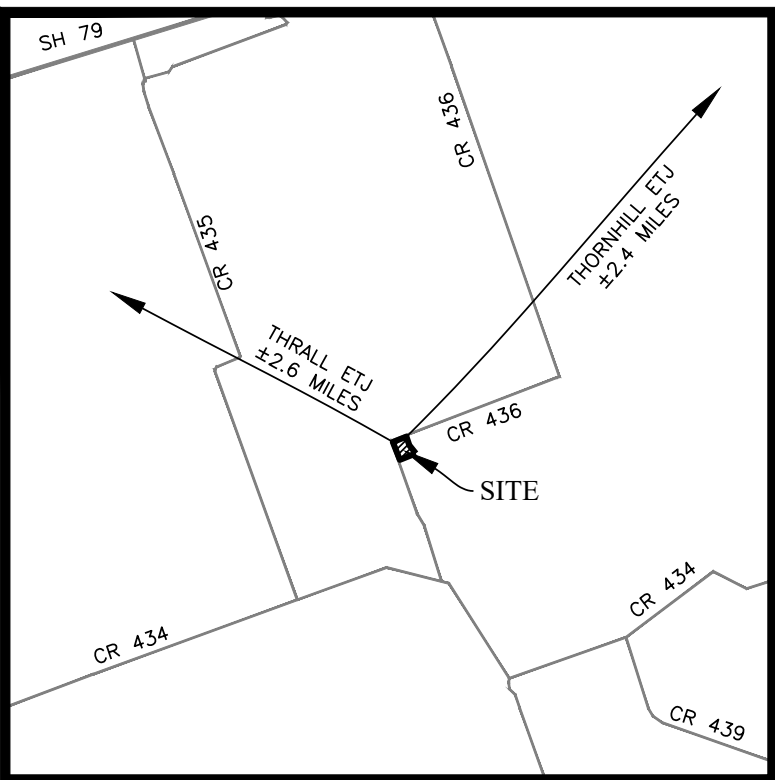
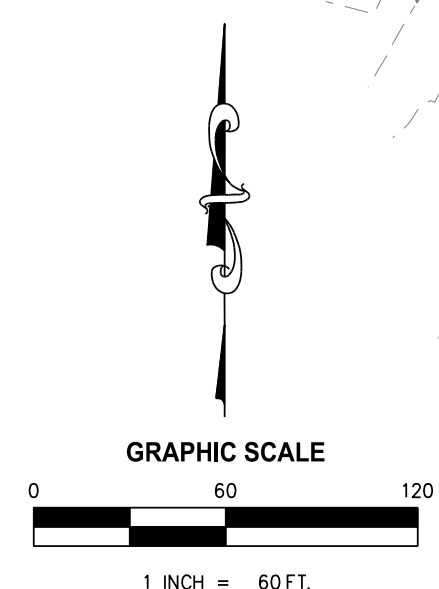


LOTNUMBER	CULVERT LENGTH	CULVERT DIAMETER	UPSTREAM ELEVATION	DOWNSTREAM ELEVATION
1&2 (SHARED DRIVE)	60.92'	18" RCP	449.84'	449.24'
3	37.37'	18" RCP	438.19'	437.82'



VICINITY MAP  
SCALE 1" = 1 MILE



**LEGEND / ABBREVIATIONS**

- ADJOINER LINE
- BOUNDARY LINE
- BUILDING LINE
- CENTERLINE
- CENTERLINE
- EASEMENT LINE
- IRON ROD FOUND
- CAPPED IRON ROD SET
- CAPPED IRON ROD SET
- STAMPED "LANDPOINT"
- P.U.E. PUBLIC UTILITY EASEMENT
- B.L. BUILDING LINE
- O.P.R.W.C.T. OFFICIAL PUBLIC RECORDS, WILLIAMSON COUNTY, TEXAS

THE STATE OF TEXAS §  
COUNTY OF WILLIAMSON §

KNOW ALL MEN BY THESE PRESENTS:  
THAT AUSTIN SUMMERS LLC, THE OWNER OF THAT CERTAIN 4.99 ACRE TRACT OF LAND (CALLED 5.00 ACRES TRACT OF LAND) RECORDED IN INSTRUMENT NUMBER 2023075010, OF THE OFFICIAL RECORDS OF WILLIAMSON COUNTY, TEXAS, DO HEREBY STATE THAT THERE ARE NO LIEN HOLDERS OF THE CERTAIN TRACT OF LAND, AND DO HEREBY (SUBDIVIDE, RE-SUBDIVIDE, AMEND, ETC.) SAID TRACT AS SHOWN HEREON, AND DO HEREBY CONSENT TO ALL PLAT NOTE REQUIREMENTS SHOWN HEREON, AND DO HEREBY FOREVER DEDICATE TO THE PUBLIC THE ROADS, ALLEYS, RIGHTS-OF-WAY, EASEMENTS AND PUBLIC PLACES SHOWN HEREON FOR SUCH PUBLIC PURPOSES AS WILLIAMSON COUNTY MAY DEEM APPROPRIATE, AND DO HEREBY STATE THAT ALL PUBLIC ROADWAYS AND EASEMENTS AS SHOWN ON THIS PLAT ARE FREE OF LIENS. THIS SUBDIVISION IS TO BE KNOWN AS MEADOWS ADDITION.

AUSTIN SUMMERS LLC

JIM BAYS  
MANAGING PARTNER, AUSTIN SUMMERS LLC

State of Texas  
County of \_\_\_\_\_

Before me, a Notary Public, on this day personally appeared JIM BAYS known to me to be the person whose name is subscribed to the foregoing document and, being by me first duly sworn, declared that the statements therein contained are true and correct.

Notary Public Signature (seal)

TED ALLEN GOSSETT,  
TEXAS REGISTER PROFESSIONAL LAND SURVEYOR  
NO. 5991

State of Texas  
County of \_\_\_\_\_

Before me, a Notary Public, on this day personally appeared Ted Allen Gossett known to me to be the person whose name is subscribed to the foregoing document and, being by me first duly sworn, declared that the statements therein contained are true and correct.

Notary Public Signature (seal)

DATE

WHEREAS Ernest Meadows and Andrew Meadows are the owners of a certain 4.99 tract or parcel of land situated in the Willford Cartwright Survey, Survey No 4, Webb County, Texas, being the all of a called 5.00 acre tract of land described in the deed to Austin Summers, LLC, recorded in Document Number 2023035010, Official Public Records, Williamson County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8-inch iron rod found on the South right-of-way line of County Road 436 at the Northeast corner of said 5.00 acre tract and also being the Northwest corner of a called 2.498 acre tract of land described as "Tract II" in the deed to Ernest Meadows, recorded in Document Number 2022062623, Official Public Records, Williamson County, Texas;

THENCE S 19°09'08" E, with the East line of said called 5.00 acre tract and the common West line of said 2.498 acre tract, a distance of 250.55 feet to a 5/8-inch iron rod found at the Southwest corner of said 2.498 acre tract and the Northwest corner of a called 2.627 acre tract of land described as "Tract III" in the deed to Ernest Meadows, recorded in Document Number 2022062623, Official Public Records, Williamson County, Texas, and an angle point in the East line of said 5.00 acre tract;

THENCE S 38°30'15" E, with the East line of said called 5.00 acre tract and the common West line of said 2.627 acre tract a distance of 288.22 feet to the Southwest corner of said 5.00 acre tract and the Southwest corner of said 2.627 acre tract and being in the North line of a called 137.111 acre tract described in the deed to Jerome P. Chovanec and Shirley Ann Chovanec described in the deed recorded in Volume 863, Page 66, Official Public Records, Williamson County, Texas;

THENCE S 68°21'05" W, with the South line of said 5.00 acre tract and the common North line of said 137.111 acre tract a distance of 471.85 feet to a 1/2-inch iron rod found, and continuing, on a total distance of 472.52 feet to the East right-of-way line of County Road 436 at the Southwest corner of said 5.00 acre tract and the Northwest corner of said 137.111 acre tract;

THENCE N 21°39'30" W, with said East right-of-way, passing at a distance of 491.82 feet a 1/2-inch iron rod found, and continuing a total distance of 526.65 feet to the Northwest corner of said 5.00 acre tract in said County Road 436;

THENCE N 68°26'12" E, with the North line of said 5.00 acre tract and the said South right-of-way line of County Road 436 part of the way, passing a 1/2-inch iron rod at a distance of 34.98 feet and continuing on the same course, a total distance of 399.19 feet to the POINT OF BEGINNING and containing 4.99 acres or 217,412 square feet of land more or less.

**GENERAL NOTES:**

- THE SURVEYOR HAS NOT ABSTRACTED THE SITE. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF TITLE COMMITMENT AND DOES NOT SHOW ALL EASEMENTS AND ENCUMBRANCES OF RECORD.
- BEARING BASED ON TEXAS STATE PLANE COORDINATES, CENTRAL ZONE, 4203, NAD83-US SURVEY FEET, DERIVED FROM GPS OBSERVATIONS.
- ALL 'CIRS' ARE 5/8-INCH IRON ROD WITH PLASTIC CAP STAMPED "LANDPOINT" UNLESS OTHERWISE NOTED.
- THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE ONE FOOT HIGHER THAN THE HIGHEST SPOT SHOT ELEVATION THAT IS LOCATED WITHIN 5 FEET OUTSIDE THE PERIMETER OF THE BUILDING, OR ONE FOOT ABOVE THE BFE, WHICHEVER IS HIGHER.
- NO LOT IN THIS SUBDIVISION IS ENCRoACHED BY A SPECIAL FLOOD HAZARD AREA(S) INUNDATED BY THE 100-YEAR (1% CHANCE) FLOOD AS IDENTIFIED BY THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 48491C0600F, EFFECTIVE DATE DECEMBER 20, 2019 FOR WILLIAMSON COUNTY, TEXAS.
- THIS SUBDIVISION IS SUBJECT TO STORM WATER MANAGEMENT CONTROLS AS REQUIRED BY WILLIAMSON COUNTY SUBDIVISION REGULATIONS SECTION B11.1, ON NEW DEVELOPMENT THAT WOULD EVOKE SUCH CONTROLS BEYOND EXISTING CONDITIONS.
- NO OBSTRUCTIONS, INCLUDING BUT NOT LIMITED TO FENCING OR STORAGE, SHALL BE PERMITTED IN ANY DRAINAGE EASEMENTS SHOWN HEREON.
- A TEN FOOT (10') PUE ABUTTING AND ALONG THE STREET SIDE PROPERTY LINE IS HEREBY DEDICATED FOR ALL STREET SIDE PROPERTY LOTS SHOWN HEREON.
- WATER SERVICE IS PROVIDED BY: MANVILLE WATER SUPPLY.
- WASTEWATER SERVICE IS PROVIDED BY: PRIVATE ON SITE SEPTIC FIELDS (OSSF).
- THIS SUBDIVISION IS NOT WITHIN THE ETJ OF ANY JURISDICTION.
- A 25 FOOT FRONT YARD SETBACK FOR ALL LOTS IS REQUIRED BY THE WILLIAMSON COUNTY SUBDIVISION REGULATIONS.
- IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATTING AND DEVELOPMENT OF THIS PROPERTY. THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, WILL CHANGE OVER TIME AND THE CURRENT EFFECTIVE FLOODPLAIN DATA TAKES PRECEDENCE OVER FLOODPLAIN DATA REPRESENTED ON THIS PLAT. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE STREETS IN THE SUBDIVISION HAVE BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.
- IMPROVEMENTS WITHIN THE COUNTY ROAD RIGHT-OF-WAY INCLUDING, BUT NOT LIMITED TO, LANDSCAPING, IRRIGATION LIGHTING, CUSTOM SIGNS, IS PROHIBITED WITHOUT FIRST OBTAINING AN EXECUTED LICENSE AGREEMENT WITH WILLIAMSON COUNTY. MAINTENANCE RESPONSIBILITY FOR DRAINAGE WILL NOT BE ACCEPTED BY THE COUNTY OTHER THAN THAT ACCEPTED IN CONNECTION WITH DRAINING OR PROTECTING THE ROAD SYSTEM. MAINTENANCE RESPONSIBILITY FOR STORM WATER MANAGEMENT CONTROLS WILL REMAIN WITH THE OWNER.
- A DE FACTO CERTIFICATE OF COMPLIANCE IS HEREBY ISSUED FOR ALL LOTS WITHIN THIS SUBDIVISION. THIS CERTIFICATE IS VALID UNTIL SUCH TIME AS FEMA REVISES OR NEWLY ADOPTS FLOODPLAIN BOUNDARIES IN THIS AREA.
- ALL SIDEWALKS SHALL BE MAINTAINED BY EACH OF THE ADJACENT PROPERTY OWNERS.
- MAINTENANCE RESPONSIBILITY FOR DRAINAGE WILL NOT BE ACCEPTED BY THE COUNTY OTHER THAN THAT ACCEPTED IN CONNECTION WITH DRAINING OR PROTECTING THE ROAD SYSTEM. MAINTENANCE RESPONSIBILITY FOR STORM WATER MANAGEMENT CONTROLS WILL REMAIN WITH THE OWNER.
- ALL STRUCTURES/OBSTRUCTIONS ARE PROHIBITED WITHIN DRAINAGE EASEMENTS.
- LOTS 1-3 MAY NOT BE FURTHER SUBDIVIDED.
- ONE-WAY CIRCULAR DRIVEWAYS SHALL NOT BE PERMITTED ONTO COUNTY ROAD 436.
- RESIDENTIAL DRIVEWAYS ARE TO BE LOCATED NO CLOSER THAN 60 PERCENT OF THE PARCEL FRONTAGE OR 50 FEET WHICHEVER IS LESS.
- RURAL MAILBOXES SHALL BE SET THREE FEET FROM THE EDGE OF THE PAVEMENT OR BEHIND CURBS, WHEN USED. ALL MAILBOXES WITHIN COUNTY ARTERIAL RIGHT-OF-WAY SHALL MEET THE CURRENT TXDOT STANDARDS. ANY MAILBOX THAT DOES NOT MEET THIS REQUIREMENT MAY BE REMOVED BY WILLIAMSON COUNTY.
- LOTS 1 AND 2 SHALL ONLY USE A SINGLE SHARED DRIVEWAY. NO MORE THAN THREE RESIDENCES TOTAL SHALL BE SERVED BY THE SINGLE SHARED DRIVEWAY.
- THE ACCESS EASEMENT ON LOT 3 WILL BE EXCLUSIVELY FOR LOT 3.
- DRIVEWAY MAINTENANCE WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. IF OBSTRUCTIONS OCCUR WITHIN THE DRIVEWAY CULVERT, THE COUNTY RESERVES THE RIGHT TO CLEAR OBSTRUCTIONS THAT ARE CAUSING ADVERSE IMPACTS TO THE ROADWAY.

**PRELIMINARY PLAT**  
LOTS 1-3, BLOCK A  
MEADOWS ADDITION  
BEING 4.99 ACRES IN THE  
WILLIFORD CARTWRIGHT SURVEY,  
ABSTRACT NUMBER 4  
WILLIAMSON COUNTY, TEXAS

<b>SURVEYOR:</b> <b>LANDPOINT</b> 6410 SOUTHWEST BLVD, STE. 127 FORT WORTH, TX 76109 (817) 554-1805 www.landpoint.net TBPLS REG. NO. 10194220	<b>OWNERS:</b> AUSTIN SUMMERS LLC P.O. BOX 117 GEORGETOWN, TX 78627 (254) 722-8610	<b>ENGINEER:</b> WA Civil, LLC 223 West Wall Street, Suite 226 8th Floor Midland Towers, Midland, TX 79701 (903) 272-5231
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DATE: 9-05-2024      SHEET 1 OF 1

ACREAGE:	4.99
PATENT SURVEY:	WILLIFORD CARTWRIGHT SURVEY, ABSTRACT NO. 4
BLOCKS:	1
LOTS:	3
SUBMITTAL DATE:	9/5/2024

X:\2023\23-2101\Working\Bases\Maps\23-2101-3075 CR 436-PRELIMINARY PLAT UPDATED 9-05-2024.dwg